

Exhibit A

Ordinance Permit 20240010110A

Exhibit H

Form of Public Infrastructure Conveyance

PUBLIC INFRASTRUCTURE CONVEYANCE

ORDINANCE PERMIT #20240010110-A

This Public Infrastructure Conveyance Agreement (“Agreement”) is made and entered into effective August 6th, 2025, by and between PROJECT PAUL, LLC, a Delaware limited liability company (“Developer”), and CITY OF SAINT PAUL, MINNESOTA, a municipal corporation existing under the laws of the State of Minnesota (“City”).

NOW, THEREFORE, in consideration of the mutual obligations of the parties hereto, each of them does hereby covenant and agree as follows:

1. Notification. The Developer has delivered to the City a duly executed Certificate of Completion and, thereafter, the City has determined that the applicable components of the Public Infrastructure as described in **Exhibit A** hereto (the “Infrastructure”) appear to have been constructed in accordance with the approved plans and specifications and the preliminary and final plat and has so notified the Developer in writing. As a result, via this Agreement, the Developer is conveying the Property to the City in accordance with the Site Improvement Performance Agreement, dated December __, 2019. The acceptance of the Infrastructure does not take effect until the Saint Paul City Council accepts the Infrastructure via Resolution.

2. Representations. The Developer hereby represents, certifies, and promises to the City the following:

- (a) With respect to the Property, Developer has complied with the provision of the Redevelopment Agreement, dated December 19, 2019, including that the Property conveyed to the City in this Agreement is completely constructed, constructed in compliance with all applicable Standards as described in the St. Paul Department of Public Works’ Construction of Infrastructure by Private Developers Policy, is free of defects, and is free and clear of any encumbrances or liens.
- (b) A final walk-through inspection with appropriate City staff has been completed and any required corrective work (written punch list) determined through said walk-through or as determined under the normal and ordinary course of on-site observations by City staff or those hired by the City to complete such observations, has been completed.
- (c) The following documents respecting the Property are complete, accurate, and have been filed with the appropriate department(s) of the City of Saint Paul:
 - (i) Original, reproducible As-Built Plans acceptable to the Department of Public Works, City of Saint Paul are on file with said Department.
 - (ii) Certificate of Completion signed by Engineer of Record who is a licensed Professional Engineer with the State of Minnesota per Minnesota State Statute 326.

[Exhibit N to Site Improvement Performance Agreement (Ford Site)]

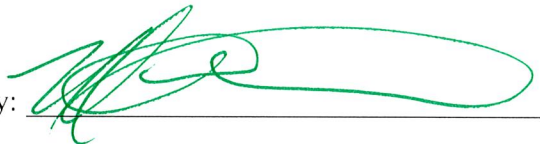
- (iii) For sewer systems, video records of televised inspections of sewer mains have been submitted by permittee and approved by Sewer Utility staff.
- (iv) For sewer systems, sewer connection permit information on file with Public Works.
- (v) Operation and Maintenance plans.
- (vi) All other permit requirements as set forth in the Ford site ordinance permit policy.
- (d) Developer has undertaken any and all necessary actions to assign warranties it owns or possesses on or with the Property to the City.
- (e) Developer will duly execute and deliver any other documents as may be reasonably and customarily required in connection with the transfer of the Property to the City.

3. Conveyance. The Developer hereby dedicates, conveys and assigns in good title to the City of Saint Paul, together with all hereditaments and appurtenances all rights, entitlements, benefits, permits, approvals, and licenses that pertain to, with, or in the Property in its entirety, without reservation or exception, together with all warranties, free and clear of any mortgage, pledge, hypothecation, encumbrance, lease, license, lien or others security interest. If necessary, Developer shall execute a recordable Warranty Deed to be recorded with the Ramsey County Registrar's Office.

IN WITNESS WHEREOF, the City and Developer have caused this Agreement to be duly executed in their names and on their behalf, all on or as of the date first above written.

PROJECT PAUL, LLC,
a Delaware limited liability company

By: Ryan Companies US, Inc., a Minnesota corporation, its Sole Member

By: 

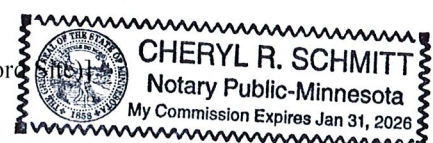
Name: Maureen Michalski

Its: Regional SVP Real Estate Development

STATE OF Minnesota)
) ss.
COUNTY OF Hennepin)

The foregoing instrument was acknowledged before me this 6th day of August, 2025, by Maureen Michalski, the Regional Senior Vice President Real Estate Development of Ryan Companies US, Inc., a Minnesota corporation, the Sole Member of Project Paul, LLC, a Delaware limited liability company, on behalf of the limited liability company.


Notary Public





CITY OF SAINT PAUL DEPARTMENT OF PUBLIC WORKS

Certificate of Compliance

I hereby certify that work completed under this Ordinance Permit and materials provided for installation conform to the appropriate specifications and provisions of and the Department of Public Works, City of Saint Paul, Minnesota, *Standard Supplemental Specifications for Construction of Public Infrastructure by Private Developers Policy*, as amended, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Finn St - Roadway Base and Traffic Elements

Project Description

20240010110-A

Permit Number

Dan Glenz

44614

09/10/2025

(Signature and License No.)

Date

Kimley-Horn and Associates Inc.

Organization (Print)



CITY OF ST PAUL
Department of Public Works
25 West 4th Street
1500 City Hall Annex
Saint Paul, MN 55102

ORDINANCE PERMIT

OFFICE USE ONLY

Application No. _____
Application Date _____
SPR File # _____
Permit No. _____

Type of Permit (select one only):

- | | | |
|---|--|---|
| ☐ Base Roadway | ☐ Roadway Sidewalks | ☐ Sanitary Sewer Collection System |
| ☐ Bridge | ☐ Roadway Traffic | ☐ Storm Sewer Collection System |
| ☐ Retaining Wall | ☐ Sanitary Drop Shaft | ☐ Storm Sewer Treatment System |

Phase:

Location (Street On, From/To, and Adjacent Lots/Blocks):

Description of Work: *[Include the description provided in the permit application and all subsequent amendments or revisions, which are hereby incorporated by reference.]*

Applicant Contact Person:

Contact Person Title:

Contact Person Telephone:

Contact Person Email:

Bond Co.:

Bond Amount:

Bond No.:

Insurance Co.:

Insurance Certificate No.:

Permit Conditions:

This permit is issued with the stipulation that the work of the permittee and related agents, employees and contractors shall conform in all respects to the Redevelopment Agreement (including all Legal Requirements as defined by Article 1), the City of Saint Paul Department of Public Works Ordinance Permit Process Document, and the Department of Public Works List of Applicable Standards & Specifications. The permit shall be available for display at the site referred to herein and shown to any Police Officer or Inspector upon demand and does not authorize or allow for interference with the work of any Contract made or to be made with the City of Saint Paul.

**THIS PERMIT MAY BE REVOKED AT ANY TIME
BY THE DIRECTOR OF PUBLIC WORKS**

A PERMIT FOR THE ABOVE DESCRIBED CONSTRUCTION IS AUTHORIZED BY:

David Kuebler

Signature

Title

Date

Printed Name

PERMIT NUMBER _____

ITEMS TO BE COMPLETED PRIOR TO ACCEPTANCE OF INFRASTRUCTURE AND RELEASE OF PERMIT

Prior to acceptance of any infrastructure and release of City permits, the following items must be completed to the satisfaction of the City:

- ☒ Corrective (punch list) work completed;
- ☒ Original reproducible CAD and PDF as-built plans, signed by the Engineer of Record, provided to Public Works; Submittal of final copies of Metropolitan Council Environmental Services and MN Pollution Control Agency Permits (Sewer Extension, SAC Determination, etc.); **CAD file to be provided at the end of the project which, for the purposes of obtaining the CAD file, is defined as the end of 2025 or within a reasonable time post 2025.**
- ☒ Full compliance with project Quality Management Plan or other document(s) governing quality management and quality assurance;
- ☒ Documentation of compliance with all applicable City and non-City permit requirements, including, but not limited to: City Public Works Right-of-Way Office, Minnesota Pollution Control Agency, Capitol Region Watershed District, and National Pollution Discharge Elimination System permit requirements;
- ☒ Documentation of roadway materials at compaction of grading and base, plant mix design report, strength;
- NA ☐ Video of all sanitary sewer mains and laterals, storm sewer mains and laterals, and any structural BMP's (pipe galleries, drintile, sediment control structures, weir structures, etc.) installed under any permit, provided to the Public Works Sewer Division;
- NA ☐ Sewer Permit drawings for paving connections or stubs installed to service vertical development provided to Public Works, in addition to Private Service Lateral Permit Drawings;
- NA ☐ Documentation of Public Works notified for signal and lighting inspection of pole field layouts (staking), conduits and foundations installed, poles and wiring installed, and head positioning and phasing/detection verification (signals only);
- NA ☐ For infrastructure within parks: Documentation that Parks Department has been notified of completion status;
- NA ☐ All applicable operation and maintenance manuals provided to Public Works; and
- ☒ Certificate of Compliance signed and submitted to City by Engineer of Record.

RELEASE OF PERMIT:

Permit No. _____ Council Res. No. _____ Permit Date _____

Release Authorized by _____ Title _____

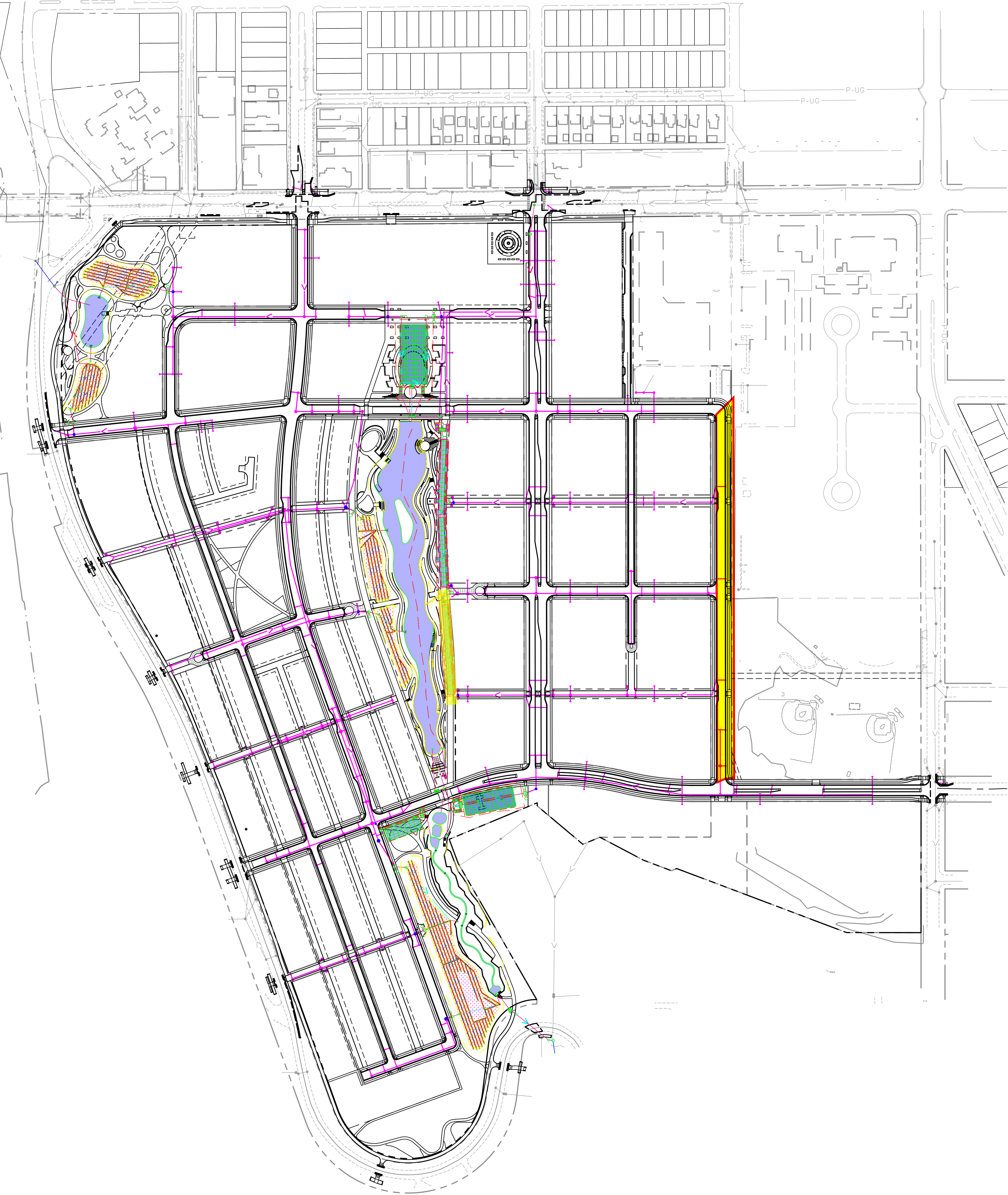
Highland Bridge - East of Cretin Ave
Ordinance Permit Take-Offs

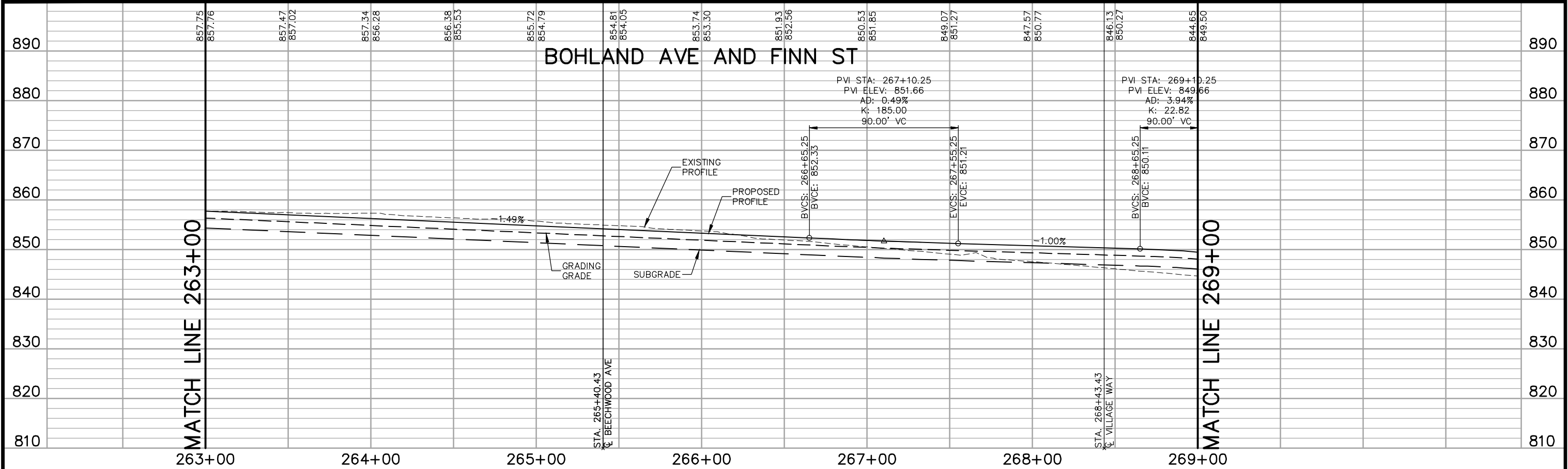
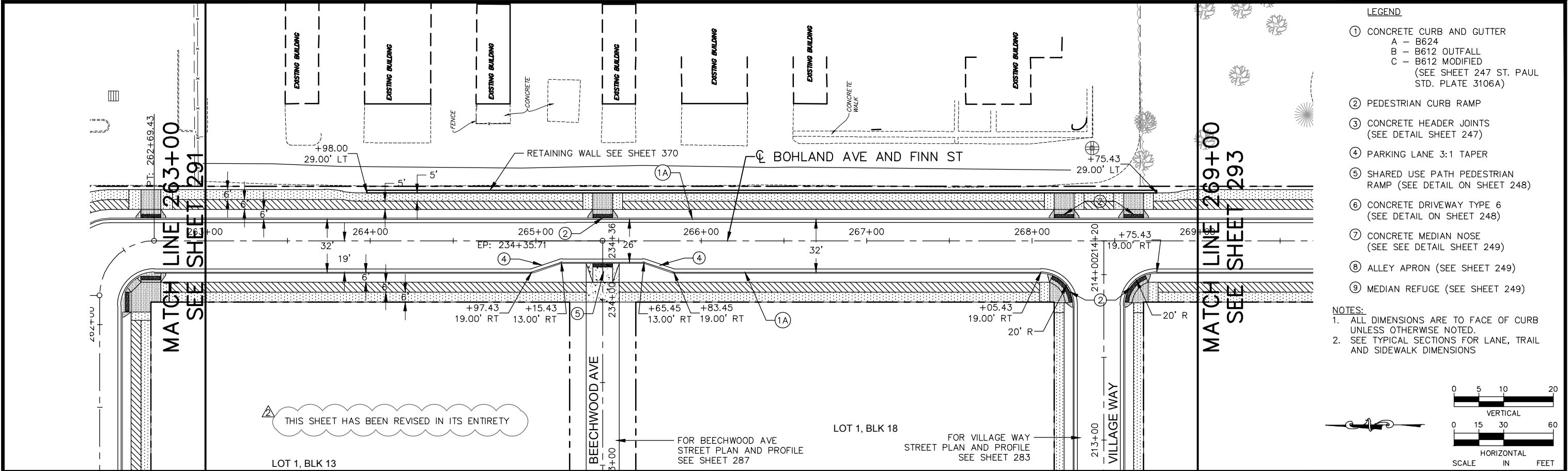
Base Roadway Take-Off			
		Finn St	
	Class V roadbase 1'	1,218.19	cy
	Class V shared path 6"	-	cy
	Class V Bike path 9"	350.81	cy
	Class V Sidewalk 8"	359.27	cy
	Subgrade 3'	6,526.78	cy
	Drain tile 6"	2,593.80	lf
Electrical Take-Off			
	Street Lights	10.00	ea
	1.5-Inch Conduit	2,337.00	lf
	Handholds	3.00	ea

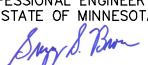
MT CURVE SOUTH STORM ADD

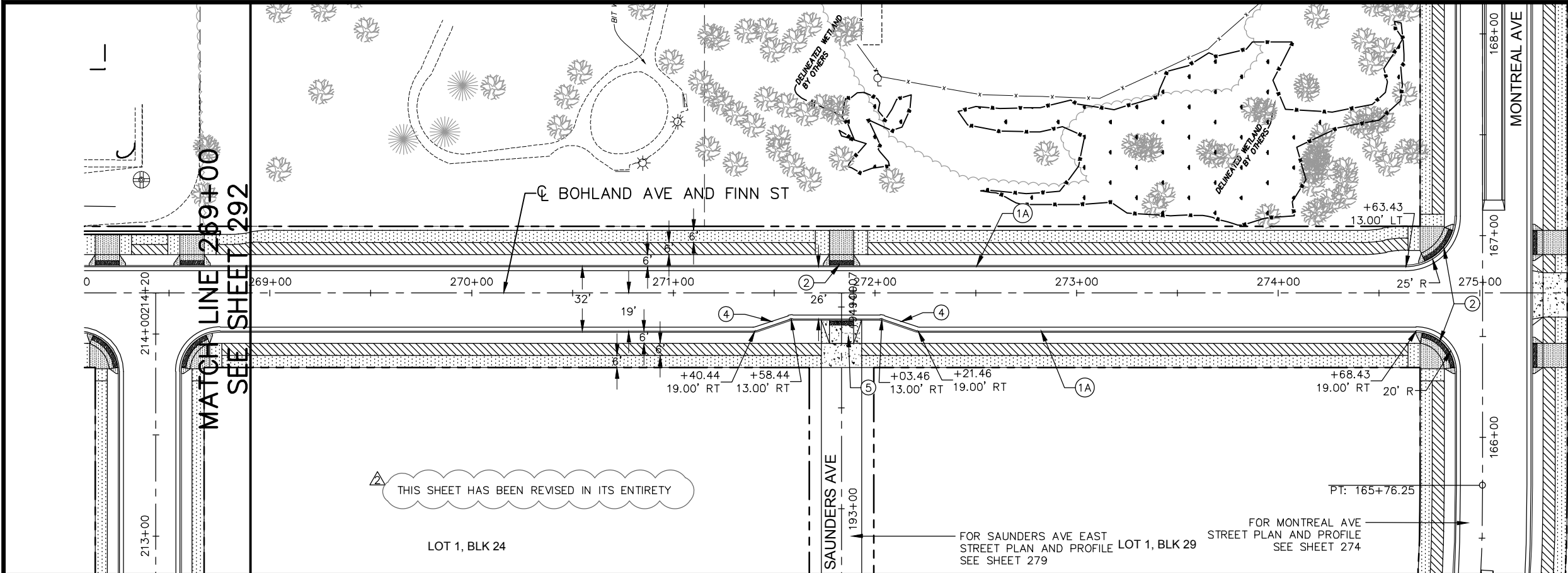
ORDINANCE PERMIT EXHIBIT

8.5.2021

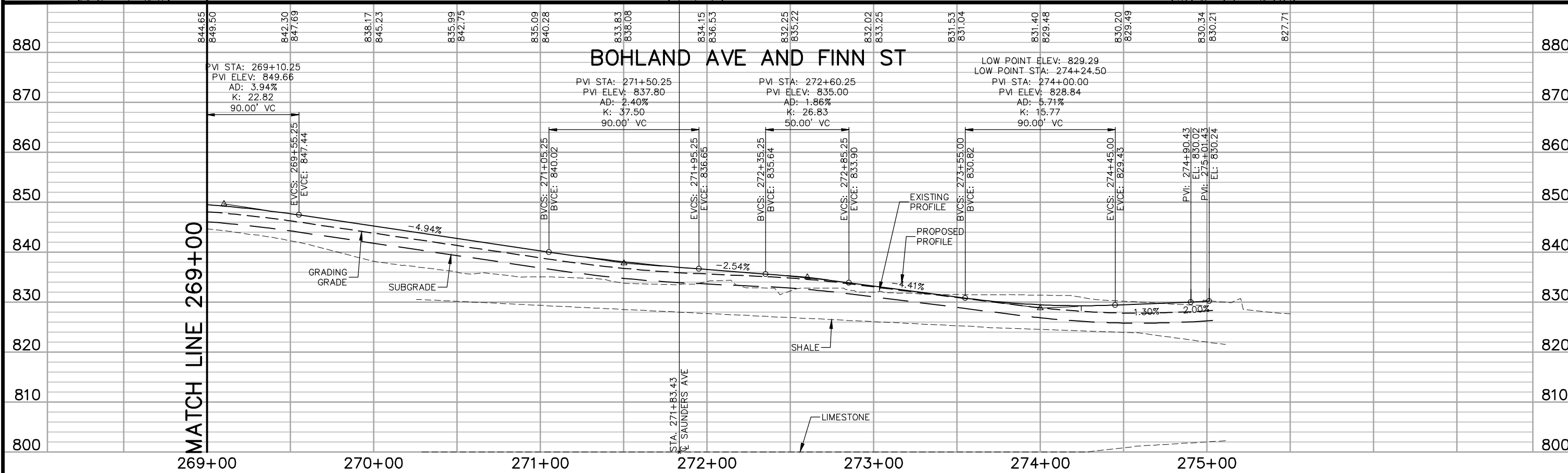
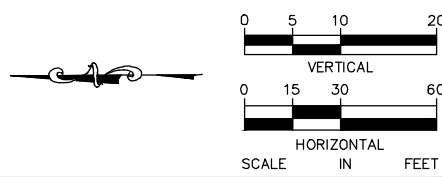




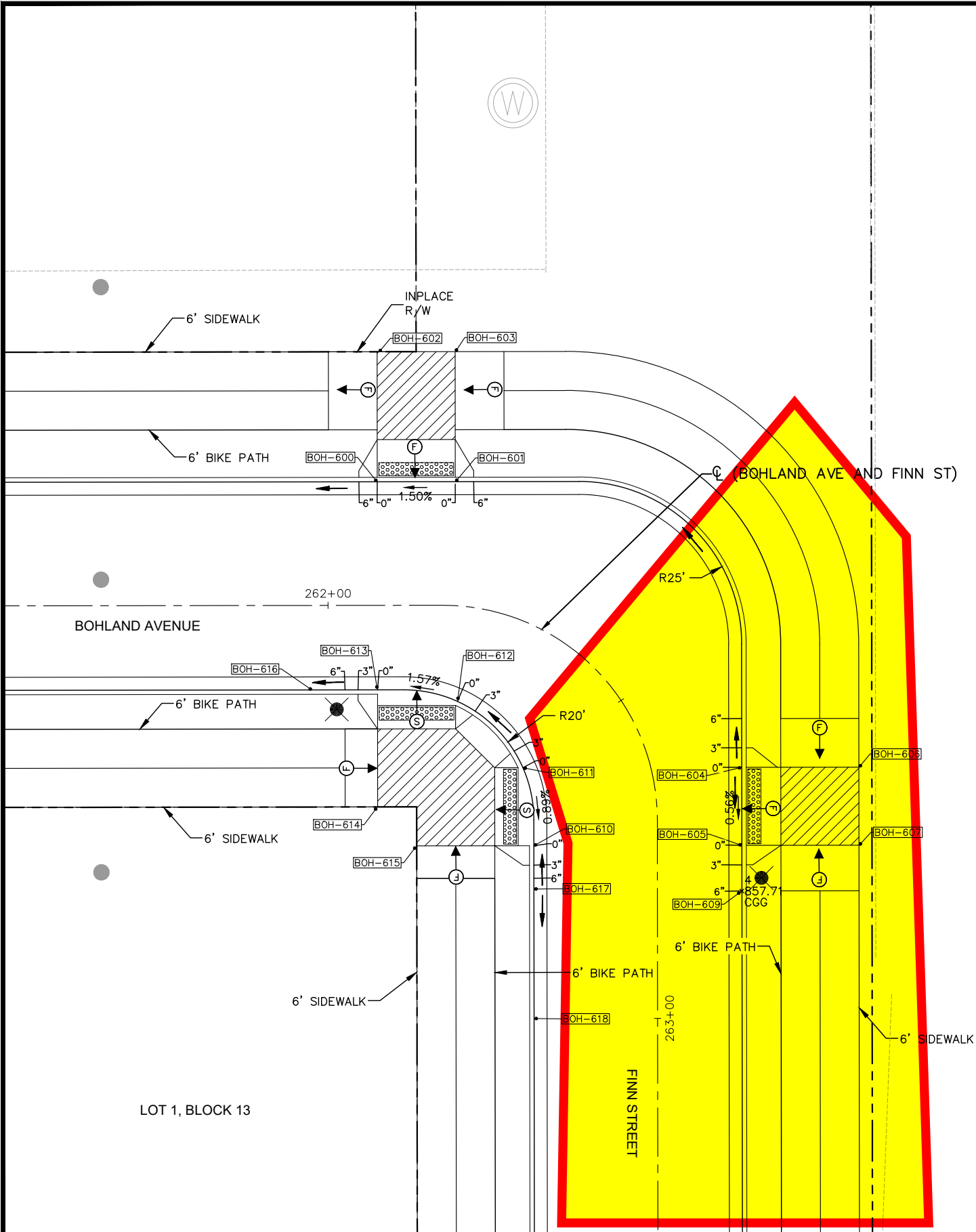
No.	Date	Revisions	App.	DRAWING NAME	 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-645-4197 WWW.KIMLEY-HORN.COM	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  GREGORY S. BROWN, PE DATE: 05/27/20 MN LIC. NO. 22814			RYAN COMPANIES US, INC. FORD SITE REDEVELOPMENT CITY OF ST PAUL, MINNESOTA FINAL SITE PLAN	SHEET NO. 292 522
2	7/1/20	BULLETIN #2	GSB	DESIGNED BY: RJG						
				DRAWN BY: RJG						
				CHECKED BY: GSB						
				DATE: 05/27/20						
				PROJECT NO. 160640016						



- LEGEND**
- ① CONCRETE CURB AND GUTTER
 - A - B624
 - B - B612 OUTFALL
 - C - B612 MODIFIED
 - (SEE SHEET 247 ST. PAUL STD. PLATE 3106A)
 - ② PEDESTRIAN CURB RAMP
 - ③ CONCRETE HEADER JOINTS (SEE DETAIL SHEET 247)
 - ④ PARKING LANE 3:1 TAPER
 - ⑤ SHARED USE PATH PEDESTRIAN RAMP (SEE DETAIL ON SHEET 248)
 - ⑥ CONCRETE DRIVEWAY TYPE 6 (SEE DETAIL ON SHEET 248)
 - ⑦ CONCRETE MEDIAN NOSE (SEE DETAIL SHEET 249)
 - ⑧ ALLEY APRON (SEE SHEET 249)
 - ⑨ MEDIAN REFUGE (SEE SHEET 249)
- NOTES:**
- 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 2. SEE TYPICAL SECTIONS FOR LANE, TRAIL AND SIDEWALK DIMENSIONS



No.	Date	Revisions	App.	DRAWING NAME Ford PlanProfile EW.dwg	 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-645-4197 WWW.KIMLEY-HORN.COM	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. GREGORY S. BROWN, PE DATE: 05/27/20 MN LIC. NO. 22814			RYAN COMPANIES US, INC. FORD SITE REDEVELOPMENT CITY OF ST PAUL, MINNESOTA FINAL SITE PLAN	SHEET NO. 293 522
2	7/1/20	BULLETIN #2	GSB	DESIGNED BY: RJG						
				DRAWN BY: RJG						
				CHECKED BY: GSB						
				DATE: 05/27/20						
				PROJECT NO. 160640016					FINN ST STREET PLAN AND PROFILE STA. 269+00 TO STA. 275+00	

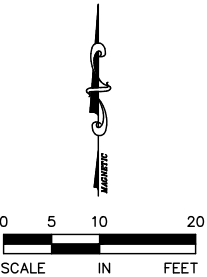


LEGEND	
X"	PROPOSED CURB HEIGHT
	LANDING AREA - 4'X4' MIN. DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS
	TRUNCATED DOMES (SEE STANDARD PLATE 7038)
	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%
	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%
	DRAINAGE FLOW ARROW
	PROPOSED MANHOLE
	PROPOSED CATCH BASIN
	PEDESTRIAN RAMP CONTROL POINT

- NOTES:
- SEE SHEET 339 - 344 FOR MnDOT PEDESTRIAN STANDARD PLAN SHEETS
 - SEE SHEET 02 FOR GENERAL NOTES
 - OFFSETS, ELEVATIONS, AND TRUNCATED DOME DIMENSIONS ARE TO FLOWLINE OF GUTTER, WHERE APPLICABLE, AND DO NOT INCLUDE DRAINAGE SUMPS
 - SIDEWALK AND BLVD SLOPES MAY VARY FROM TYPICAL SECTIONS AT INTERSECTIONS AND PEDESTRIAN RAMPS. SIDEWALK CROSS SLOPE ARROWS INDICATE INTENT, BUT CONTRACTOR SHALL ADJUST DESIGN AS NEEDED BASED ON FIELD CONDITIONS TO MAINTAIN ADA COMPLIANCE

PEDESTRIAN RAMP POINTS TABLE				
POINT NUMBER	ALIGNMENT	STATION	OFFSET	ELEVATION
BOH-600	BOHLAND AVE AND FINN ST	262+07.59	19.00' LT	856.98
BOH-601	BOHLAND AVE AND FINN ST	262+18.86	19.04' LT	857.17
BOH-602	BOHLAND AVE AND FINN ST	262+07.86	38.98' LT	857.48
BOH-603	BOHLAND AVE AND FINN ST	262+18.51	39.03' LT	???
BOH-604	BOHLAND AVE AND FINN ST	262+63.73	13.69' LT	857.98
BOH-605	BOHLAND AVE AND FINN ST	262+73.41	13.00' LT	857.91
BOH-606	BOHLAND AVE AND FINN ST	262+65.31	31.50' LT	???
BOH-607	BOHLAND AVE AND FINN ST	262+73.41	31.00' LT	???
BOH-609	BOHLAND AVE AND FINN ST	262+80.44	12.99' LT	857.71
BOH-610	BOHLAND AVE AND FINN ST	262+73.43	19.00' RT	857.79
BOH-611	BOHLAND AVE AND FINN ST	262+50.43	18.30' RT	857.89
BOH-612	BOHLAND AVE AND FINN ST	262+21.70	14.65' RT	857.30
BOH-613	BOHLAND AVE AND FINN ST	262+07.59	13.00' RT	857.10
BOH-614	BOHLAND AVE AND FINN ST	262+07.59	31.00' RT	857.55
BOH-615	BOHLAND AVE AND FINN ST	262+73.43	37.00' RT	857.73
BOH-616	BOHLAND AVE AND FINN ST	261+97.50	13.00' RT	856.59
BOH-617	BOHLAND AVE AND FINN ST	262+80.07	19.00' RT	857.60
BOH-618	BOHLAND AVE AND FINN ST	263+00.00	19.00' RT	857.30

THIS SHEET HAS BEEN REVISED IN ITS ENTIRETY



No.	Date	Revisions	App.	DRAWING NAME
2	7/1/20	BULLETIN #2	GSB	Ford Plan IntDetail_A.dwg
5	2/19/21	BULLETIN #5	GSB	
				DESIGNED BY: RSP
				DRAWN BY: RJG
				CHECKED BY: GSB
				DATE: 02/19/21
				PROJECT NO. 160640016



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Gregory S. Brown
GREGORY S. BROWN, PE
DATE: 02/19/21 MN LIC. NO. 22814

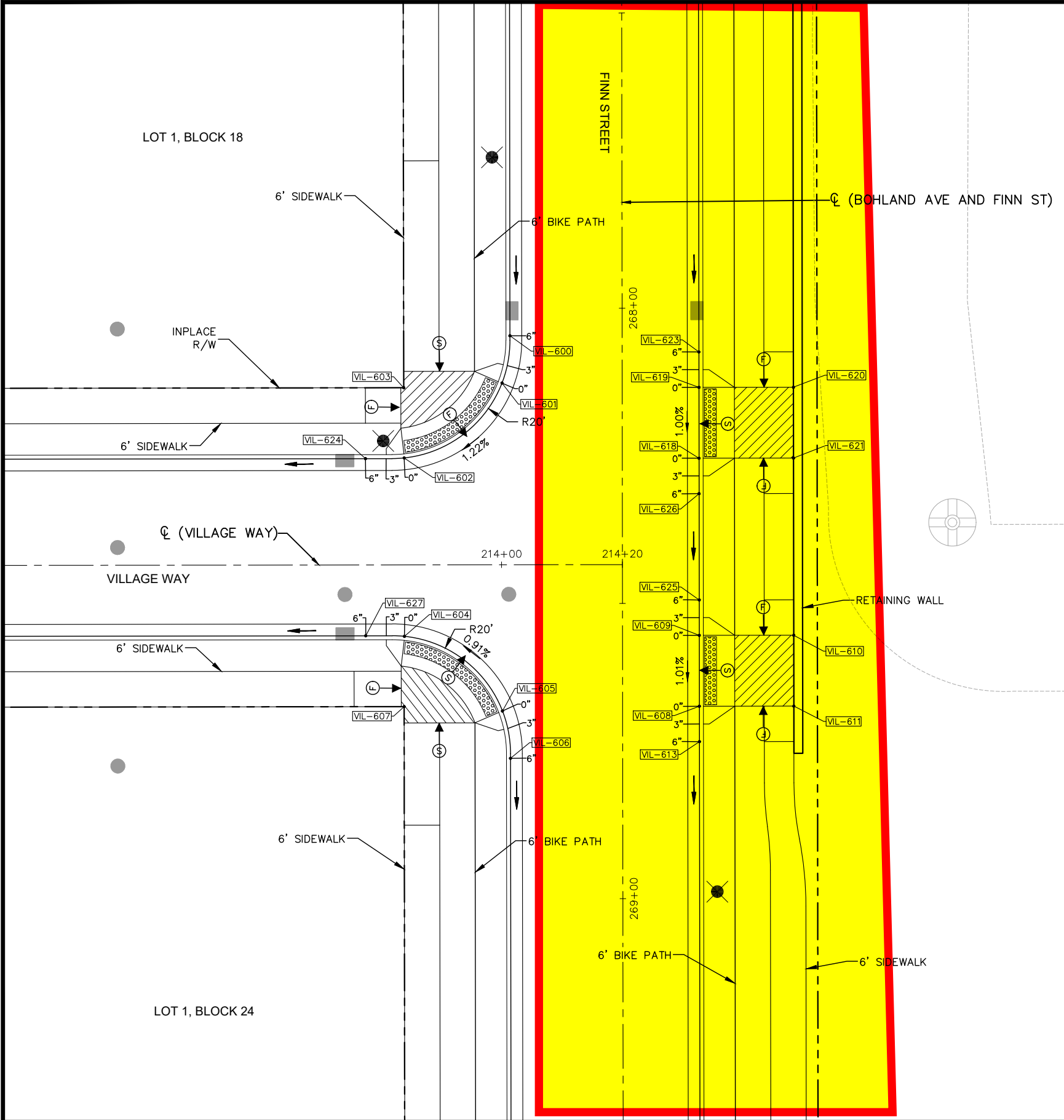


RYAN COMPANIES US, INC.
FORD SITE REDEVELOPMENT
CITY OF ST PAUL, MINNESOTA
PRELIMINARY SITE PLAN

FINN ST & BOHLAND AVE
INTERSECTION DETAIL PLANS

SHEET NO.
356

522

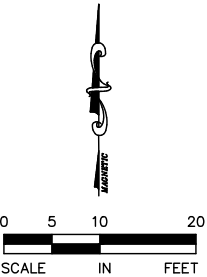


LEGEND	
X"	PROPOSED CURB HEIGHT
	LANDING AREA - 4'X4' MIN. DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS
	TRUNCATED DOMES (SEE STANDARD PLATE 7038)
	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%
	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%
	DRAINAGE FLOW ARROW
	PROPOSED MANHOLE
	PROPOSED CATCH BASIN
	PEDESTRIAN RAMP CONTROL POINT

- NOTES:
- SEE SHEET 339-344 FOR MnDOT PEDESTRIAN STANDARD PLAN SHEETS
 - SEE SHEET 2 FOR GENERAL NOTES
 - OFFSETS, ELEVATIONS, AND TRUNCATED DOME DIMENSIONS ARE TO FLOWLINE OF GUTTER, WHERE APPLICABLE, AND DO NOT INCLUDE DRAINAGE SUMPS
 - SIDEWALK AND BLVD SLOPES MAY VARY FROM TYPICAL SECTIONS AT INTERSECTIONS AND PEDESTRIAN RAMP. SIDEWALK CROSS SLOPE ARROWS INDICATE INTENT, BUT CONTRACTOR SHALL ADJUST DESIGN AS NEEDED BASED ON FIELD CONDITIONS TO MAINTAIN ADA COMPLIANCE

PEDESTRIAN RAMP POINTS TABLE				
POINT NUMBER	ALIGNMENT	STATION	OFFSET	ELEVATION
VIL-600	BOHLAND AVE AND FINN ST	268+04.65	19.00' RT	850.26
VIL-601	BOHLAND AVE AND FINN ST	268+12.66	20.35' RT	849.84
VIL-602	BOHLAND AVE AND FINN ST	268+25.32	36.94' RT	849.53
VIL-603	BOHLAND AVE AND FINN ST	268+13.43	37.00' RT	849.86
VIL-604	BOHLAND AVE AND FINN ST	268+55.53	36.94' RT	849.41
VIL-605	BOHLAND AVE AND FINN ST	268+68.20	20.35' RT	849.63
VIL-606	BOHLAND AVE AND FINN ST	268+76.20	19.00' RT	849.52
VIL-607	BOHLAND AVE AND FINN ST	268+67.43	37.00' RT	849.82
VIL-608	BOHLAND AVE AND FINN ST	268+67.43	13.00' LT	849.75
VIL-609	BOHLAND AVE AND FINN ST	268+55.43	13.00' LT	849.87
VIL-610	BOHLAND AVE AND FINN ST	268+55.43	29.00' LT	850.45
VIL-611	BOHLAND AVE AND FINN ST	268+67.43	29.00' LT	850.33
VIL-613	BOHLAND AVE AND FINN ST	268+73.43	13.00' LT	849.67
VIL-618	BOHLAND AVE AND FINN ST	268+25.43	13.00' LT	850.17
VIL-619	BOHLAND AVE AND FINN ST	268+13.43	13.00' LT	850.29
VIL-620	BOHLAND AVE AND FINN ST	268+13.43	29.00' LT	850.87
VIL-621	BOHLAND AVE AND FINN ST	268+25.43	29.00' LT	850.81
VIL-623	BOHLAND AVE AND FINN ST	268+07.43	13.00' LT	850.35
VIL-624	BOHLAND AVE AND FINN ST	268+25.43	43.49' RT	849.19
VIL-625	BOHLAND AVE AND FINN ST	268+49.43	13.00' LT	849.93
VIL-626	BOHLAND AVE AND FINN ST	268+31.43	13.00' LT	850.11
VIL-627	BOHLAND AVE AND FINN ST	268+55.43	43.49' RT	849.31

THIS SHEET HAS BEEN REVISED IN ITS ENTIRETY



No.	Date	Revisions	App.	DRAWING NAME
2	7/1/20	BULLETIN #2	GSB	Ford Plan IntDetail_B.dwg
6	4/2/21	BULLETIN #6	GSB	
				DESIGNED BY: RSP
				DRAWN BY: RJG
				CHECKED BY: GSB
				DATE: 4/2/21
				PROJECT NO. 160640016



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Gregory S. Brown
GREGORY S. BROWN, PE
DATE: 4/2/21 MN LIC. NO. 22814

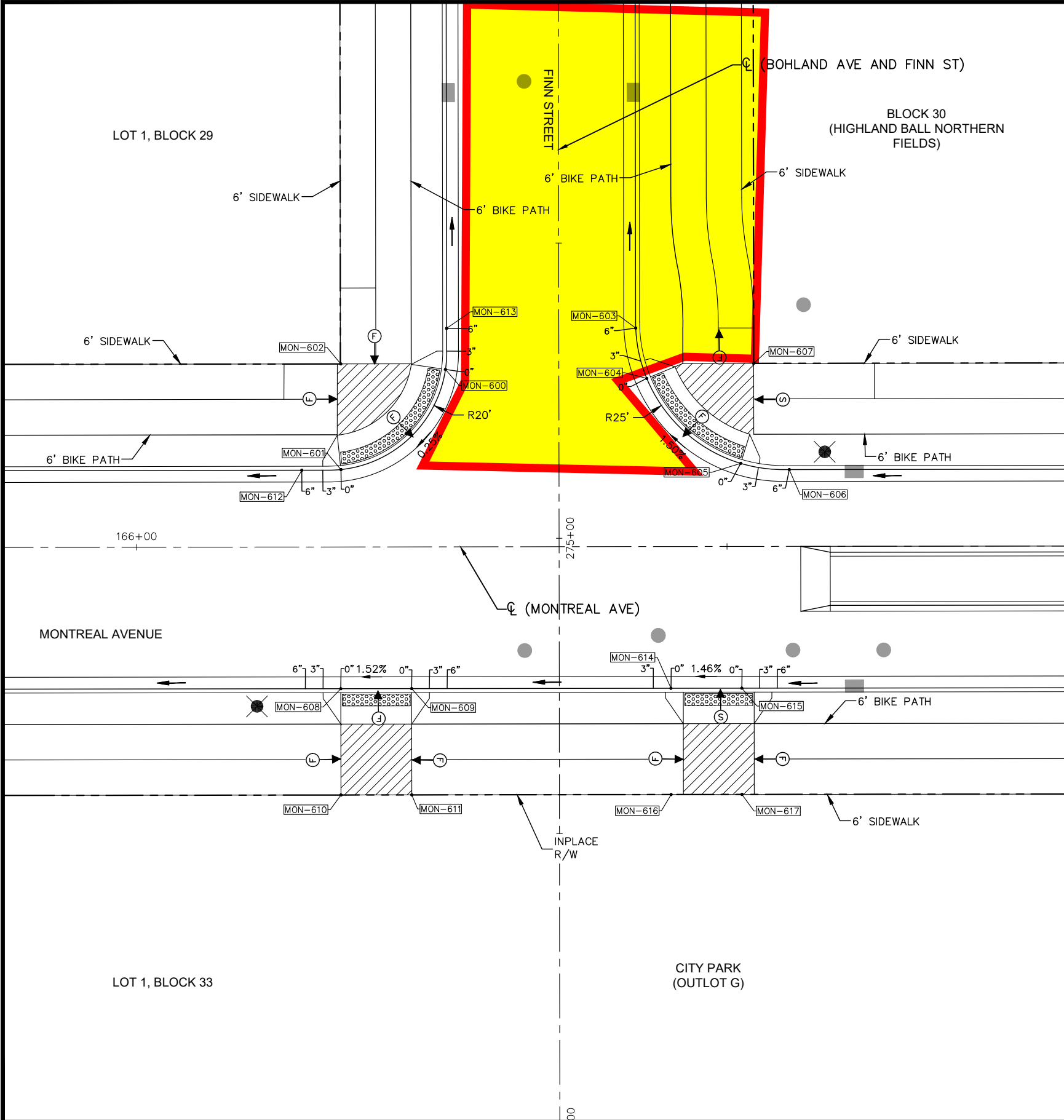


RYAN COMPANIES US, INC.
FORD SITE REDEVELOPMENT
CITY OF ST PAUL, MINNESOTA
FINAL SITE PLAN

FINN ST & VILLAGE WAY
INTERSECTION DETAIL PLANS

SHEET NO.
361

522



LEGEND	
X"	PROPOSED CURB HEIGHT
	LANDING AREA - 4'X4' MIN. DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS
	TRUNCATED DOMES (SEE STANDARD PLATE 7038)
	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%
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	DRAINAGE FLOW ARROW
	PROPOSED MANHOLE
	PROPOSED CATCH BASIN
	PEDESTRIAN RAMP CONTROL POINT

- NOTES:
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PEDESTRIAN RAMP POINTS TABLE				
POINT NUMBER	ALIGNMENT	STATION	OFFSET	ELEVATION
MON-600	MONTREAL AVE	166+52.34	30.05' LT	829.57
MON-601	MONTREAL AVE	166+34.63	13.11' LT	829.35
MON-602	MONTREAL AVE	166+34.62	31.00' LT	829.79
MON-603	MONTREAL AVE	166+84.58	37.00' LT	829.35
MON-604	MONTREAL AVE	166+86.44	28.48' LT	829.85
MON-605	MONTREAL AVE	167+02.32	14.07' LT	830.21
MON-606	MONTREAL AVE	167+10.56	13.00' LT	830.47
MON-607	MONTREAL AVE	167+04.56	31.00' LT	830.24
MON-608	MONTREAL AVE	166+34.56	24.00' RT	829.23
MON-609	MONTREAL AVE	166+46.56	24.00' RT	829.41
MON-610	MONTREAL AVE	166+34.56	42.00' RT	829.62
MON-611	MONTREAL AVE	166+46.56	42.00' RT	829.80
MON-612	MONTREAL AVE	166+28.00	13.00' LT	829.24
MON-613	MONTREAL AVE	166+52.56	37.00' LT	829.24
MON-614	MONTREAL AVE	166+90.47	24.00' RT	830.05
MON-615	MONTREAL AVE	167+02.47	24.00' RT	830.23
MON-616	MONTREAL AVE	166+90.47	42.00' RT	830.44
MON-617	MONTREAL AVE	167+02.47	42.00' RT	830.62

No.	Date	Revisions	App.	DRAWING NAME
2	7/1/20	BULLETIN #2	GSB	Ford Plan IntDetail_B.dwg
3	8/10/20	BULLETIN #3	GSB	
				DESIGNED BY: RSP
				DRAWN BY: RJG
				CHECKED BY: GSB
				DATE: 4/2/21
				PROJECT NO. 160640016

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

GREGORY S. BROWN, PE
DATE: 4/2/21 MN LIC. NO. 22814

RYAN COMPANIES US, INC.
FORD SITE REDEVELOPMENT
CITY OF ST PAUL, MINNESOTA
FINAL SITE PLAN

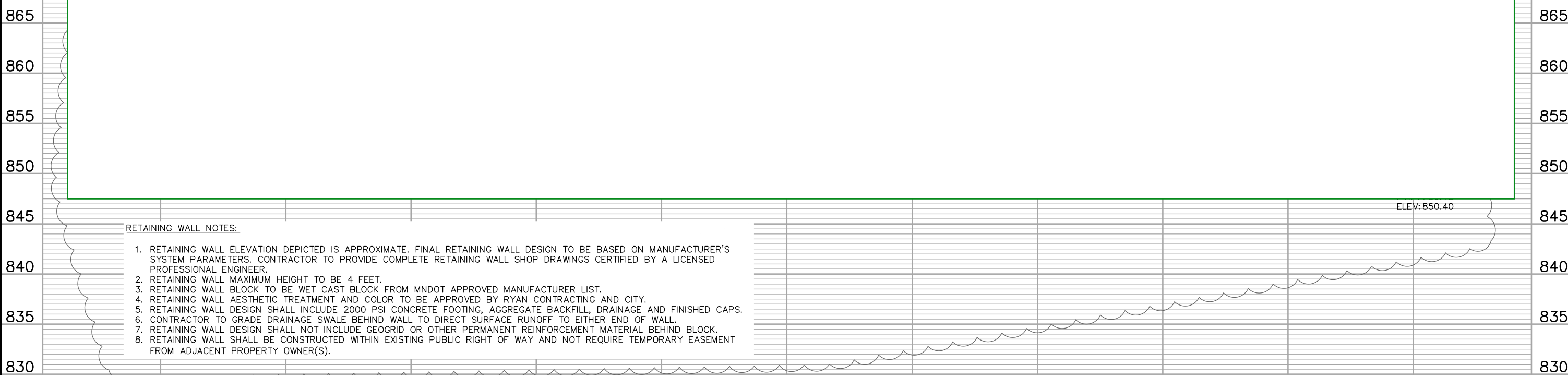
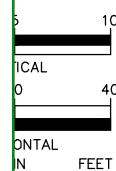
FINN ST & MONTREAL AVE
INTERSECTION DETAIL PLANS

SHEET NO.
366

522

SEE RFI 37

T
-Sv



RETAINING WALL NOTES:

1. RETAINING WALL ELEVATION DEPICTED IS APPROXIMATE. FINAL RETAINING WALL DESIGN TO BE BASED ON MANUFACTURER'S SYSTEM PARAMETERS. CONTRACTOR TO PROVIDE COMPLETE RETAINING WALL SHOP DRAWINGS CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
2. RETAINING WALL MAXIMUM HEIGHT TO BE 4 FEET.
3. RETAINING WALL BLOCK TO BE WET CAST BLOCK FROM MNDOT APPROVED MANUFACTURER LIST.
4. RETAINING WALL AESTHETIC TREATMENT AND COLOR TO BE APPROVED BY RYAN CONTRACTING AND CITY.
5. RETAINING WALL DESIGN SHALL INCLUDE 2000 PSI CONCRETE FOOTING, AGGREGATE BACKFILL, DRAINAGE AND FINISHED CAPS.
6. CONTRACTOR TO GRADE DRAINAGE SWALE BEHIND WALL TO DIRECT SURFACE RUNOFF TO EITHER END OF WALL.
7. RETAINING WALL DESIGN SHALL NOT INCLUDE GEOGRID OR OTHER PERMANENT REINFORCEMENT MATERIAL BEHIND BLOCK.
8. RETAINING WALL SHALL BE CONSTRUCTED WITHIN EXISTING PUBLIC RIGHT OF WAY AND NOT REQUIRE TEMPORARY EASEMENT FROM ADJACENT PROPERTY OWNER(S).

No.	Date	Revisions	App.	DRAWING NAME
2	7/1/20	BULLETIN #2	GSB	Ford RtWall Plan.dwg
				DESIGNED BY: RJG
				DRAWN BY: RJG
				CHECKED BY: GSB
				DATE: 05/27/20
				PROJECT NO. 160640016

Kimley»Horn
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

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Gregory S. Brown
GREGORY S. BROWN, PE
DATE: 05/27/20 MN LIC. NO. 22814

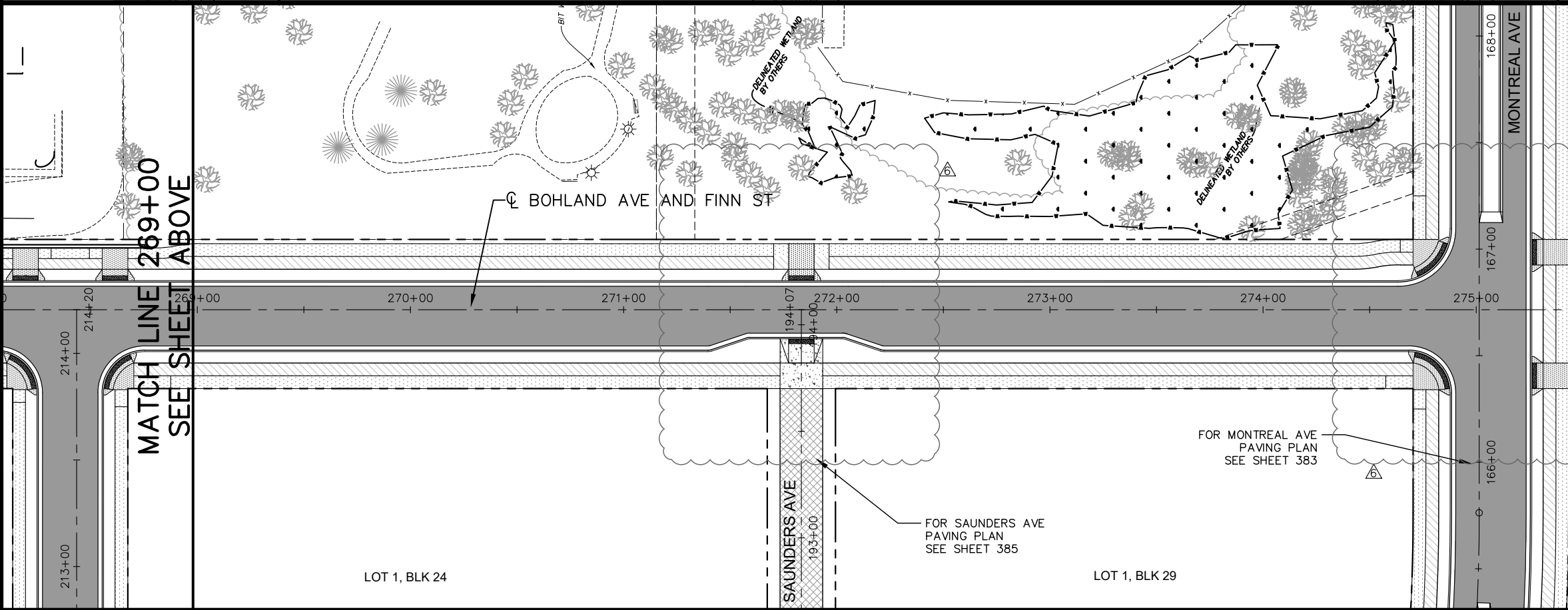
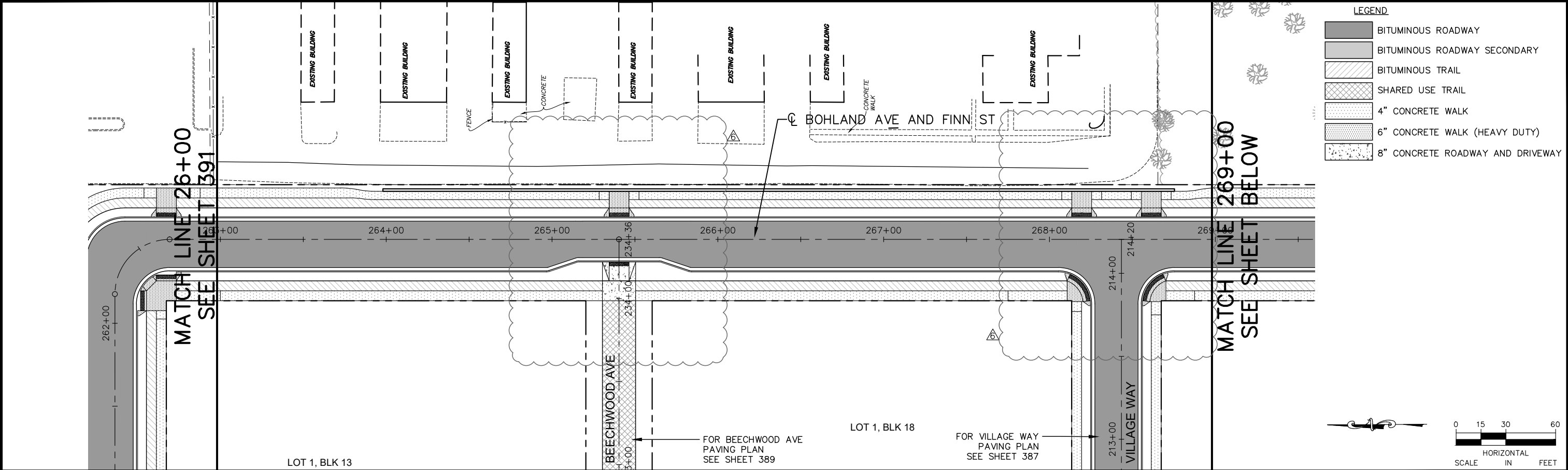
RYAN



RYAN COMPANIES US, INC.
FORD SITE REDEVELOPMENT
CITY OF ST PAUL, MINNESOTA
FINAL SITE PLAN

FINN ST. RETAINING WALL
PLAN AND PROFILE
STA. 0+00 TO STA. 6+50

SHEET NO.
370
522



IT IS THE RESPONSIBILITY OF THE PRIVATE LAND OWNERS TO ENSURE FIRE ACCESS IS PROVIDED FOR EVERY STRUCTURE ON THE FORD SITE, WHETHER THE FIRE ACCESS IS VIA PRIVATE PROPERTY OR IN PUBLIC RIGHT-OF-WAY. WITH REGARDS TO THE STREET DESIGN OF MONTREAL AVE, INCLUDING THE AREA WEST OF CLEVELAND AVENUE AND EAST OF FALLS PASSAGE EAST, THE ST. PAUL FIRE DEPARTMENT WILL ACCEPT RYAN COMPANIES CONSTRUCTING CONTINUOUS MEDIANS IN THE ROADWAY AS PART OF THE INITIAL INFRASTRUCTURE DELIVERY AND PRIOR TO ANY VERTICAL DEVELOPMENT OF THE ADJOINING SITES. THE FIRE DEPARTMENT DEFERS TO PUBLIC WORKS FOR THEIR NEEDS FOR PROVIDING OPENINGS IN THE MEDIAN AND DRIVEWAYS WHERE APPLICABLE. ONCE VERTICAL DEVELOPMENT COMMENCES ON ANY PORTION OF ANY SITE ADJACENT TO A MEDIAN, FIRE ACCESS IS REQUIRED TO BE PROVIDED EITHER ON THE SITES THEMSELVES OR ON THE PUBLIC RIGHT-OF-WAY. IF, AT THE TIME THE SITES ARE DEVELOPED, THERE IS NOT FIRE ACCESS ON THE PRIVATE SITES THEMSELVES, IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER OF THE RESPECTIVE PRIVATE DEVELOPMENT TO MODIFY THE STREET DESIGN, INCLUDING THE POSSIBILITY OF MODIFYING OR REMOVING MEDIANS.

No.	Date	Revisions	App.	DRAWING NAME	
5	2/19/21	BULLETIN #5	GAB	Ford PavePlan EW.dwg	
6	4/2/21	BULLETIN #6	GSB		
				DESIGNED BY:	RJG
				DRAWN BY:	RJG
				CHECKED BY:	GSB
				DATE:	4/2/21
				PROJECT NO.	160640016

Kimley»Horn

767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

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Gregory S. Brown
GREGORY S. BROWN, PE

DATE: 4/2/21 MN LIC. NO. 22814

RYAN



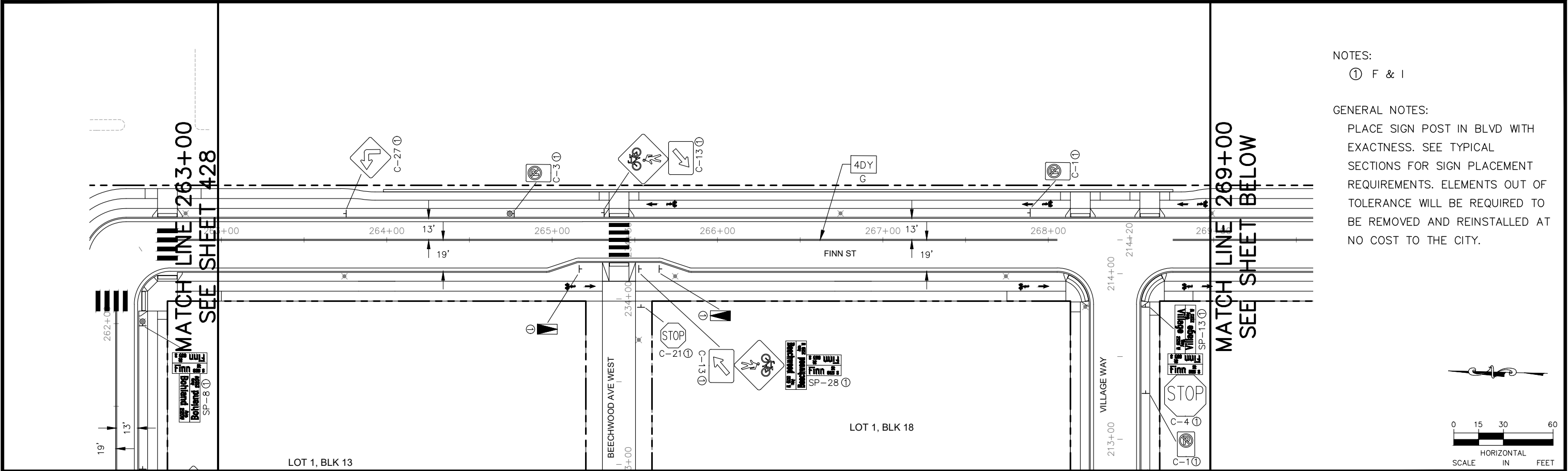
RYAN COMPANIES US, INC.
FORD SITE REDEVELOPMENT
CITY OF ST PAUL, MINNESOTA
FINAL SITE PLAN

FINN ST
PAVING PLAN
STA. 26+00 TO STA. 275+03.43'

SHEET NO.

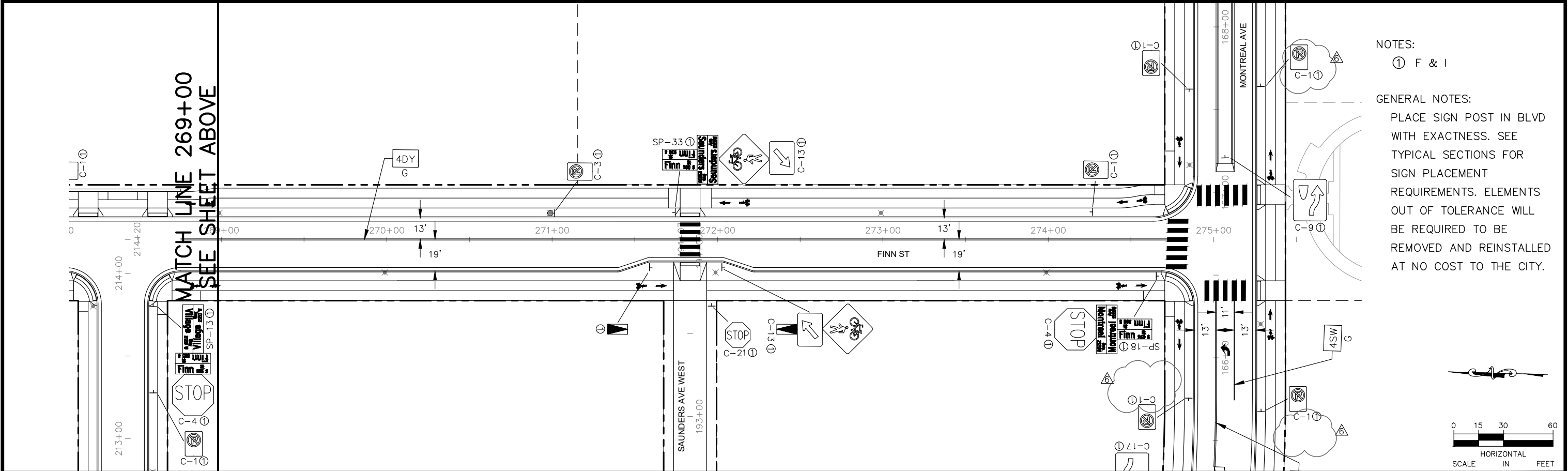
392

522



NOTES:
① F & I

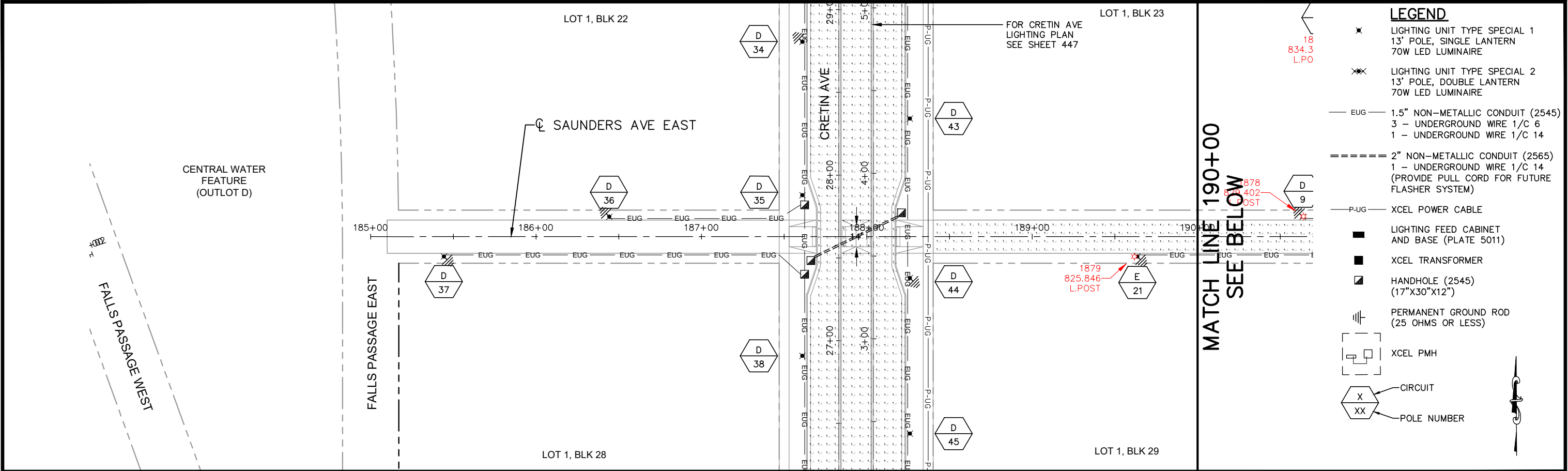
GENERAL NOTES:
PLACE SIGN POST IN BLVD WITH EXACTNESS. SEE TYPICAL SECTIONS FOR SIGN PLACEMENT REQUIREMENTS. ELEMENTS OUT OF TOLERANCE WILL BE REQUIRED TO BE REMOVED AND REINSTALLED AT NO COST TO THE CITY.



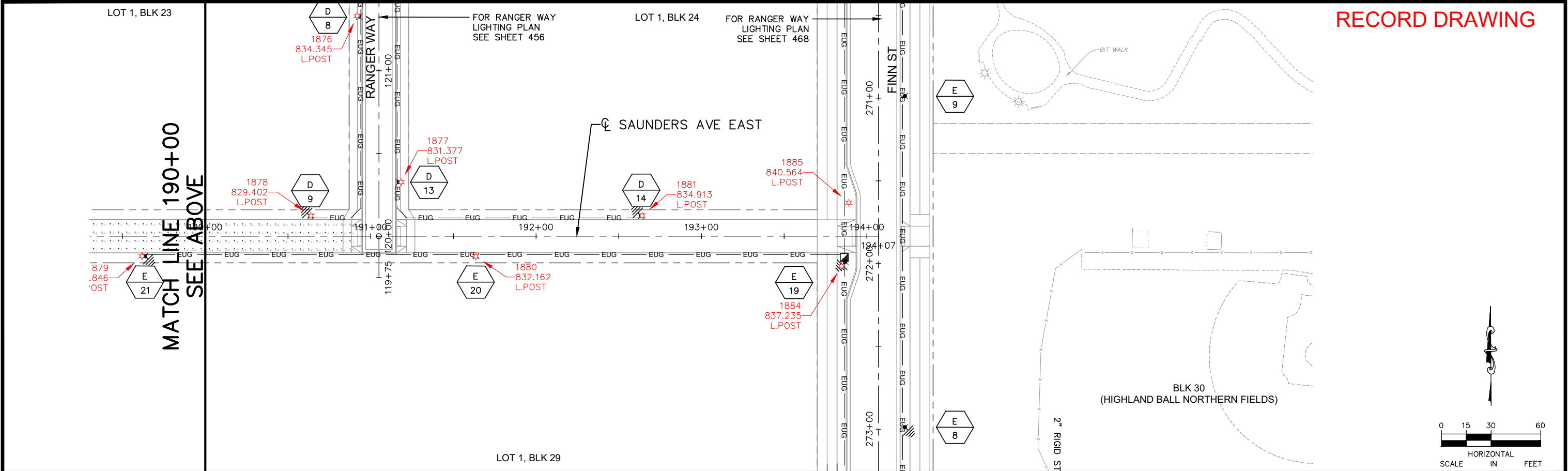
NOTES:
① F & I

GENERAL NOTES:
PLACE SIGN POST IN BLVD WITH EXACTNESS. SEE TYPICAL SECTIONS FOR SIGN PLACEMENT REQUIREMENTS. ELEMENTS OUT OF TOLERANCE WILL BE REQUIRED TO BE REMOVED AND REINSTALLED AT NO COST TO THE CITY.

No.	Date	Revisions	App.	DRAWING NAME		I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. <i>Joel A. Hinnenkamp</i> JOEL A. HINNENKAMP, PE DATE: 4/2/21 MN LIC. NO. 53081			RYAN COMPANIES US, INC. FORD SITE REDEVELOPMENT CITY OF ST PAUL, MINNESOTA FINAL SITE PLAN	SHEET NO. 429 522
2	7/1/20	BULLETIN #2	JAH	DESIGNED BY: CMW						
3	8/10/20	BULLETIN #3	JAH	DRAWN BY: CMW						
5	2/19/21	BULLETIN #5	JAH	CHECKED BY: JAH						
6	4/2/21	BULLETIN #6	JAH	DATE: 4/2/21						
				PROJECT NO. 160640016						

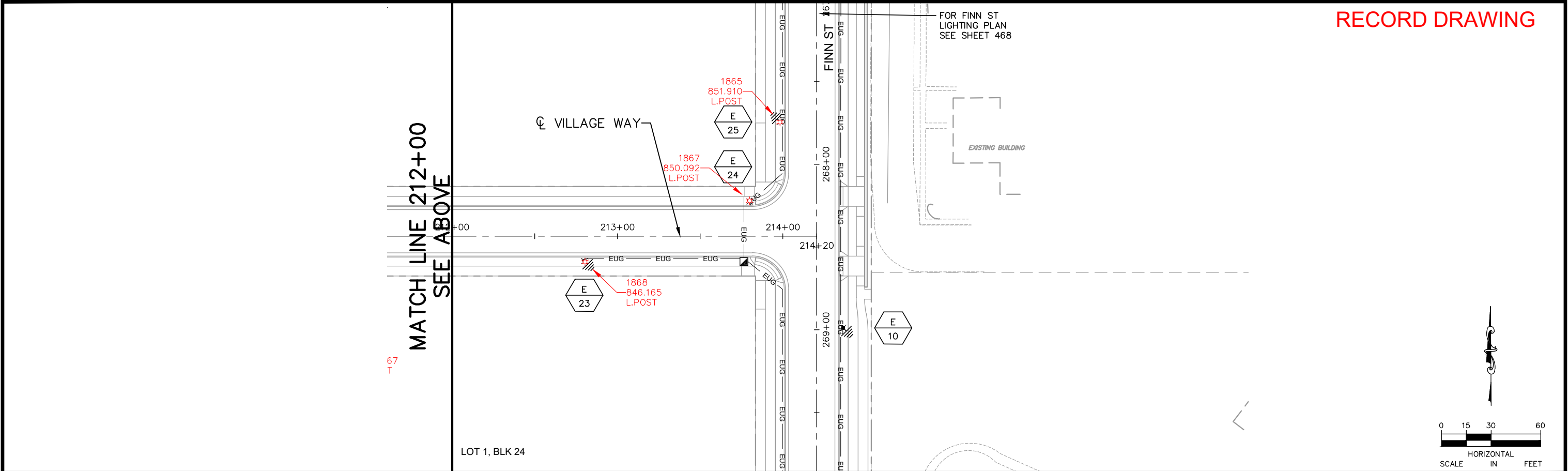
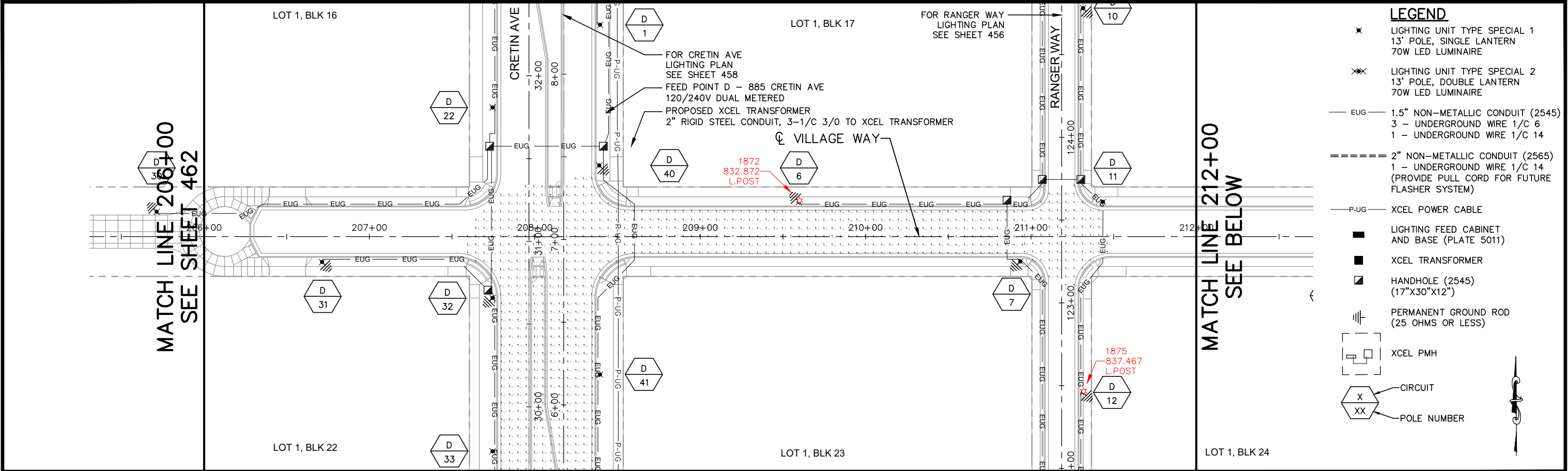


- LEGEND**
- ✱ LIGHTING UNIT TYPE SPECIAL 1
13' POLE, SINGLE LANTERN
70W LED LUMINAIRE
 - ✱✱ LIGHTING UNIT TYPE SPECIAL 2
13' POLE, DOUBLE LANTERN
70W LED LUMINAIRE
 - EUG — 1.5" NON-METALLIC CONDUIT (2545)
3 — UNDERGROUND WIRE 1/C 6
1 — UNDERGROUND WIRE 1/C 14
 - ===== 2" NON-METALLIC CONDUIT (2565)
1 — UNDERGROUND WIRE 1/C 14
(PROVIDE PULL CORD FOR FUTURE
FLASHER SYSTEM)
 - P-UG — XCEL POWER CABLE
 - LIGHTING FEED CABINET
AND BASE (PLATE 5011)
 - XCEL TRANSFORMER
 - ▣ HANDHOLE (2545)
(17"x30"x12")
 - ⎓ PERMANENT GROUND ROD
(25 OHMS OR LESS)
 - ⎓ XCEL PMH
 - ⬡ CIRCUIT
XX POLE NUMBER

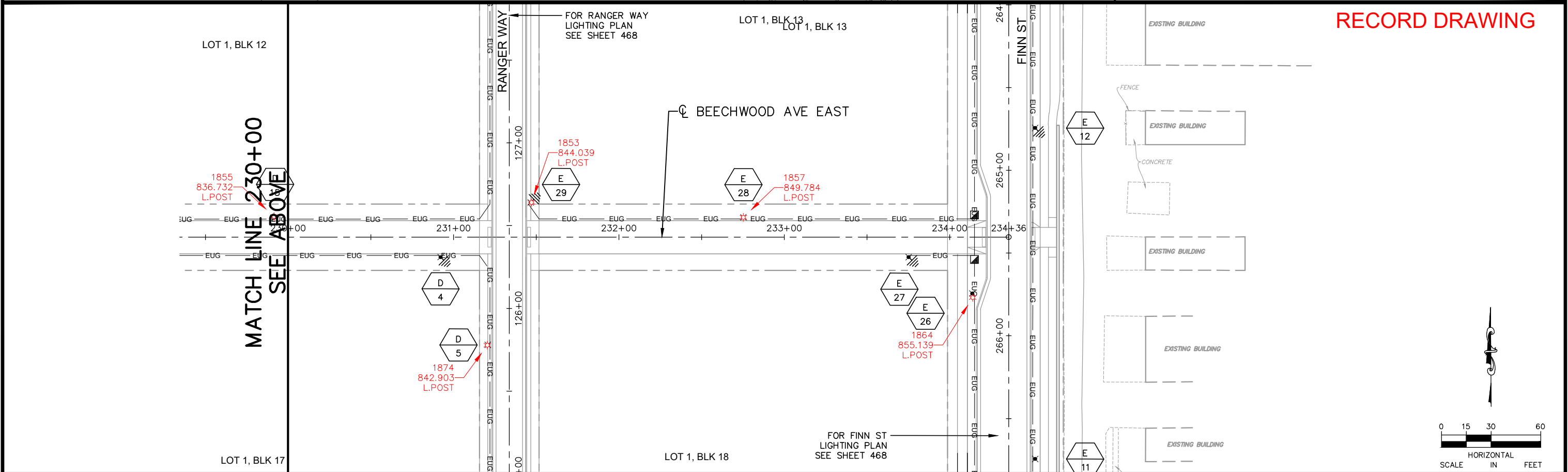
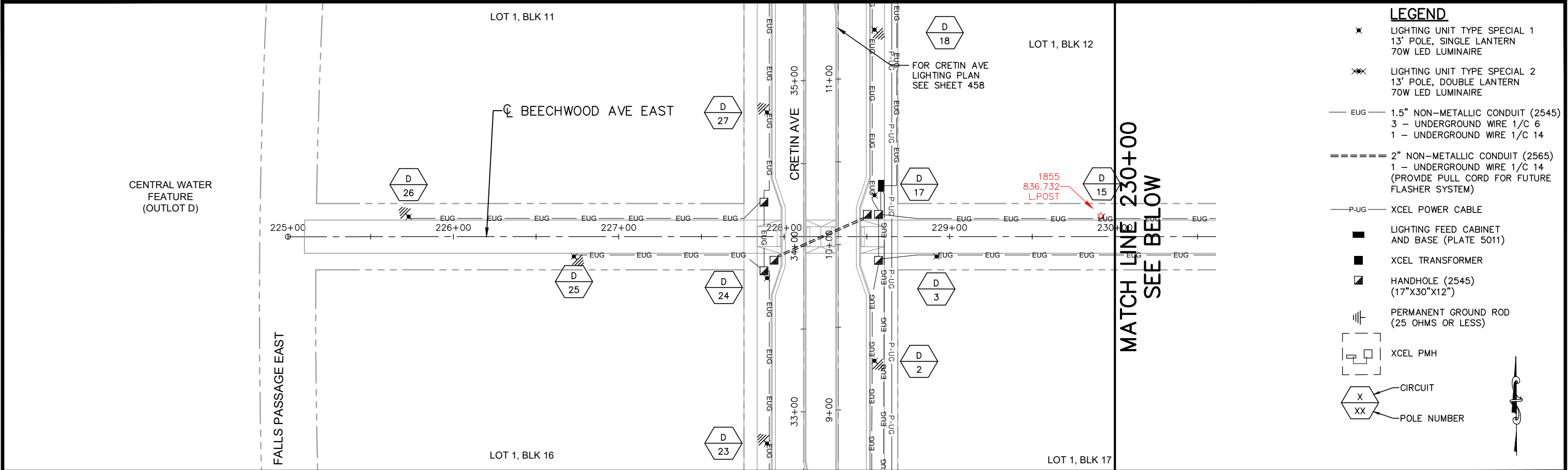


RECORD DRAWING

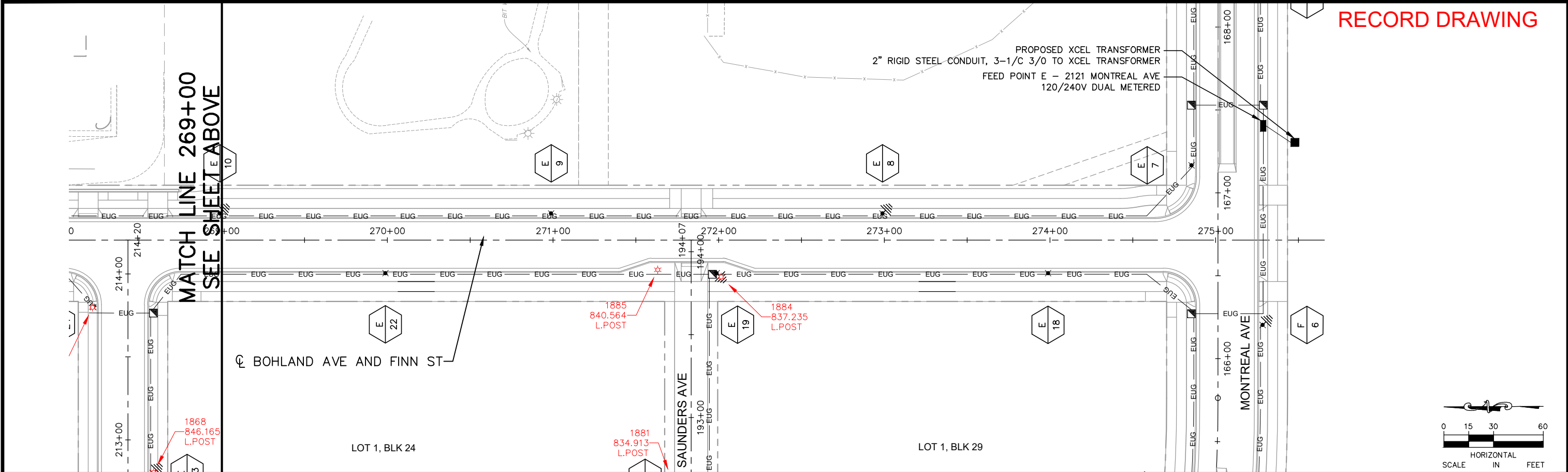
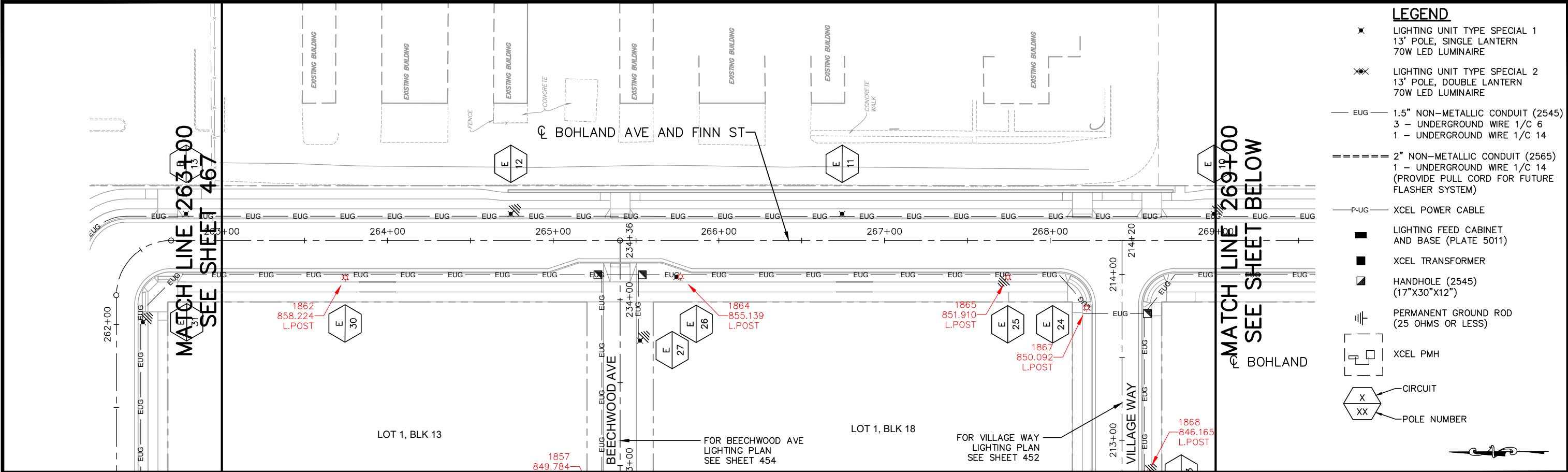
No.	Date	Revisions	App.	DRAWING NAME	 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-645-4197 WWW.KIMLEY-HORN.COM	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. DANIEL L. ELENBAAS, PE DATE: 06/05/2024 MN LIC. NO. 44614			RYAN COMPANIES US, INC. FORD SITE REDEVELOPMENT CITY OF ST PAUL, MINNESOTA FINAL SITE PLAN	SHEET NO. 461 522
2	7/1/20	BULLETIN #2	JAH	DESIGNED BY: KJC						
				DRAWN BY: KJC						
				CHECKED BY: JAH						
				DATE: 06/05/2024						
				PROJECT NO. 160640016					SAUNDERS AVE EAST LIGHTING PLAN STA. 185+00 TO STA. 194+09.04	



No.	Date	Revisions	App.	DRAWING NAME	 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-645-4197 WWW.KIMLEY-HORN.COM	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. DANIEL L. ELENBAAS, PE DATE: 06/05/2024 MN LIC. NO. 44614			RYAN COMPANIES US, INC. FORD SITE REDEVELOPMENT CITY OF ST PAUL, MINNESOTA FINAL SITE PLAN	VILLAGE WAY LIGHTING PLAN STA. 206+00 TO STA. 214+21.73	SHEET NO.
1	7/1/20	BULLETIN #2	JAH	DESIGNED BY: KJC							463
2	2/19/21	BULLETIN #5	JAH	DRAWN BY: KJC							
	4/2/21	BULLETIN #6	JAH	CHECKED BY: JAH							
				DATE: 06/05/2024							
				PROJECT NO. 160640016							



No.	Date	Revisions	App.	DRAWING NAME Ford LightPlan EW-RD.dwg	 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-645-4197 WWW.KIMLEY-HORN.COM	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. DANIEL L. ELENBAAS, PE DATE: 06/05/2024 MN LIC. NO. 44614			RYAN COMPANIES US, INC. FORD SITE REDEVELOPMENT CITY OF ST PAUL, MINNESOTA FINAL SITE PLAN BEECHWOOD AVE WEST LIGHTING PLAN STA. 225+00 TO STA. 234+37.71	SHEET NO. 465 522
2	7/1/20	BULLETIN #2	JAH	DESIGNED BY: KJC						
				DRAWN BY: KJC						
				CHECKED BY: JAH						
				DATE: 06/05/2024						
				PROJECT NO. 160640016						



No.	Date	Revisions	App.	DRAWING NAME
1	7/1/20	BULLETIN #2	JAH	Ford LightPlan EW-RD.dwg
2	2/19/21	BULLETIN #5	JAH	DESIGNED BY: KJC
	4/2/21	BULLETIN #6	JAH	DRAWN BY: KJC
				CHECKED BY: JAH
				DATE: 06/05/2024
				PROJECT NO. 160640016

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DANIEL L. ELENBAAS, PE
DATE: 06/05/2024 MN LIC. NO. 44614

RYAN COMPANIES US, INC.
FORD SITE REDEVELOPMENT
CITY OF ST PAUL, MINNESOTA
FINAL SITE PLAN

FINN ST
LIGHTING PLAN
STA. 263+00 TO STA. 275+03.43'

SHEET NO.
468

522